

# ROTTNEST IS

*The simple pleasures in life*

Our Ref: 17/62

Pinky Beach Pty Ltd  
P.O.Box 770  
COTTESLOE WA 6911

Attention: Tim Crosland

Dear Tim

## DEVELOPMENT APPLICATION:

### **PINKY BEACH ECO RETREAT INCLUDING EIGHTY-SIX (86) ACCOMMODATION TENTS, MANAGER'S ACCOMMODATION, STORAGE SHED, FOOD & BEVERAGE FACILITY, RETAIL SHOP, CAFÉ, KIOSK, BAR AND PUBLIC TOILETS**

I refer to your development application lodged on the 21 February 2017 for the proposed Pinky Beach Eco Retreat at Rottnest Island, located over 2.8 hectares on Strue Road (west of the camp ground, east of the Waste Water Treatment Plant and south of Pinky Beach).

In accordance with the *Rottnest Island Authority Act, 1987*, Rottnest Island Regulations and Development Planning Policy and Guidelines, please find your **CONDITIONAL APPROVAL** for the proposed works outlined above.

Development Approval does not remove the need for any other approvals, licences or permits that may be required. Prior to any works whatsoever commencing on-site, an application for a Building Licence must be submitted to and approved by the Rottnest Island Authority. As part of the Building Licence Application, all information necessary for the purpose of addressing conditions in the attached approval should also be provided.

If you require any further information please contact the undersigned on 9327 9333 or [bridie.howe@dbca.wa.gov.au](mailto:bridie.howe@dbca.wa.gov.au).

Yours sincerely

Michelle Reynolds  
**EXECUTIVE DIRECTOR**  
**ROTTNEST ISLAND AUTHORITY**

21 September 2017



Rottnest Island Authority  
Level 1, E Shed, Victoria Quay  
Fremantle WA 6160, Australia

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**F** +61 8 9432 9301  
**E** [enquiries@rotnnestisland.com](mailto:enquiries@rotnnestisland.com)

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Fremantle WA  
6959 Australia

[ROTTNESTISLAND.COM](http://ROTTNESTISLAND.COM)

## Notice of Determination on Development Application

Rottnest Island Authority Act 1987

CONDITIONAL APPROVAL

REF NO: 17/62 ISSUE DATE: 21 SEPTEMBER 2017

### Description of Proposed Development:

Proposed Pinky Beach Eco Retreat including eighty six (86) accommodation tents, manager's accommodation, storage shed, food & beverage facility, retail shop, café, kiosk, bar, public toilets and jetty (for small ding tie up).

**Name of Land Owner:** Crown Land vested in the Rottnest Island Authority

**Address:** Strue Road, south of Pinky Beach and immediately north of the Waste Water Treatment Plan, Rottnest Island

**Applicant:** Tim Crosland

**Application Date:** 21 February 2017

### Approval:

Approval to commence development is hereby granted for the proposed development subject to the following conditions:

1. The development shall be carried out and fully implemented in accordance with the plans and application form as approved herein, unless otherwise required or agreed in advance in writing by the writing of the Rottnest Island Authority.
2. This planning decision relates to the development as specified does not infer approval of any other unauthorised development or development which has been constructed contrary to its planning approval which may be depicted on the approved plans.
3. The solar panels have been deleted and do not form part of this approval, as marked in red.
4. The jetty has not been approved as part of this approval (refer to advice note 1).
5. Prior to the application for a Building Permit, the following documents shall be submitted to the satisfaction of the Assistant Director General, Heritage Services, of the Department of Planning, Lands and Heritage:
  - a. A comprehensive Archaeological Management Plan (AMP) for the development site prepared by a suitably qualified archaeologist. The AMP is to be completed to the standards noted in the attached draft guide.
  - b. A Landscape Plan prepared by a suitably qualified professional. The Plan should include the findings of the AMP and preclude entrance into areas of the site that may be highly sensitive.



- c. An Interpretation Plan prepared by suitably qualified professional. Interpretation should reference all of the relevant historical layers for this area of the island.
6. The design of the shade structure associated with the food and beverage area shall be reduced in height to minimise its visual impact and reduce its dominance in the landscape. The structure should not be visible from the line of the low water mark on Pinky Beach. The revised design shall be submitted to the State Heritage Council Development Committee and Rottnest Island Authority for approval, prior to the application for a building permit.
7. Prior to lodgement of a building licence, details of the food and beverage area must be prepared, submitted and approved in consultation with the Rottnest Island Authority, detailing hours of operation, use and noise attenuation measures to ensure the amenity of the surrounding area, to the satisfaction of the Rottnest Island Authority, refer Advice note.
8. Prior to the lodgement of a building licence, the applicant to engage a professional to redesigning the camp ground precinct and construction of new camping facilities, at the applicants cost to the satisfaction of the Rottnest Island Authority.
9. All buildings and structures must be setback a minimum of 5 metres from the foreshore dune, to the satisfaction of the Rottnest Island Authority.
10. Prior to lodgement of a building licence, a geomorphologist report, must be submitted and approved, to the satisfaction of the Rottnest Island Authority.
11. The walkways throughout the subject site are to be publically accessible at all times to the satisfaction of the Rottnest Island Authority.
12. Prior to lodgement of a building licence, detailed design of the three pedestrian access walkways from the subject site to Pinky Beach and the Basin (identified on the approved plans), are to be submitted to and approved, to the satisfaction of the Rottnest Island Authority. These three walkways must be constructed at the applicants cost.
13. Prior to lodgement of a building licence, detailed design of the service road is to be submitted to and approved by the Rottnest Island Authority.
14. The service road must be constructed and maintained by the applicant, to the satisfaction of the Rottnest Island Authority.
15. Prior to the lodgement of a building licence the luggage drop and bin collection point for the camp ground must be relocated in consultation with the Rottnest Island Authority. All costs associate with construction of the luggage drop and bin collection for the camp ground must be at the applicants cost.
16. The accommodation identified on the approved plans (excluding the managers residence) are to be used for short stay accommodation purposes only, and shall not be occupied permanently for

a period exceeding 3 months in any 12 month period, unless otherwise agreed and approved in writing (in advance) by the Rottnest Island Authority.

17. No retail sales shall be carried out unless the sales are ancillary to the approved use of the premises, to the satisfaction of the Rottnest Island Authority.
18. Prior to lodgement of the building licence, details of the exterior colours, materials and finishes are to be submitted to and approved, to the satisfaction of the Rottnest Island Authority.
19. Prior to lodgement of a building licence, submission of an approved Bushfire Management Plan must be submitted to the satisfaction of the Rottnest Island Authority. The Bushfire Management Plan must be implemented at all times.
20. Prior to lodgement of a building licence, a Waste Management Plan shall be submitted to and approved by the Rottnest Island Authority. The waste management plan shall be implemented at all times.
21. Prior to lodgement of a building licence, a Wildlife Management Plan must be submitted and approved, to manage and prevent wildlife interactions with patrons whilst they are on the premises, to the satisfaction of the Rottnest Island Authority. The Wildlife Management Plan must be implemented at all times.
22. Prior to lodgement of a building licence, a Pest Bird Management Plan must be submitted and approved, to manage and prevent wildlife interactions with patrons whilst they are on the premises, to the satisfaction of the Rottnest Island Authority. The Pest Bird Management Plan must be implemented at all times.
23. Prior to the lodgement of a building licence, a Landscape Management Plan must be submitted by a suitably qualified landscape architect or designer and approved to the satisfaction of the Rottnest Island Authority. The Landscape Management Plan must be implemented at all times.
24. Prior to lodgement of a building licence, a Vegetation Retention Management plan shall be prepared by a qualified arboriculturist and submitted to and approved, to the satisfaction of the Rottnest Island Authority.
25. Prior to lodgement of a building licence, a Construction Management Plan must be submitted and approved to the satisfaction of the Rottnest Island Authority. The Plan shall address hours of construction, dust, noise, waste management, storage of materials traffic and site/safety/security. The Construction Management Plan is to be complied with for the duration of the construction of the development.
26. Prior to the lodgement of a building licence, a signage concept plan including details of all proposed signage, must be submitted to and approved to the satisfaction of the Rottnest Island Authority.

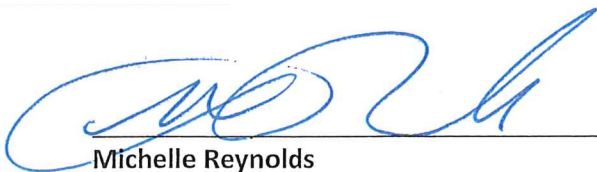
27. All signage shall be kept clean and maintained free of disrepair at all times to the satisfaction of the Rottnest Island Authority.
28. All roof mounted or freestanding plant or equipment shall be located and/or screened so as not visible from the surrounding sites, to the satisfaction of the Rottnest Island Authority.
29. External lighting shall be designed, baffled and located so as to prevent any adverse effect on surrounding land to the specification and satisfaction of the Rottnest Island Authority.
30. Stormwater from all roofed and paved areas shall be collected and contained on site to the satisfaction of the Rottnest Island Authority.
31. The Bin Storage area is to be constructed and maintained in accordance with the following to the satisfaction of the Rottnest Island Authority:
  - a. No ability for wildlife to access.
  - b. Place a roof above and enclose the bin storage area.
  - c. No storage of bins outside of the facility/premises.
32. The existing landscaping located within and around the premises shall be protected during the construction process period with any damage to the landscaping to be remediated to the satisfaction of the Rottnest Island Authority.
33. If development has not commenced within 2 years of the date of approval, the approval shall lapse and have no further effect unless otherwise required or agreed in writing by the Executive Director.

Advice Notes:

Condition 4 - The jetty has not been included within the approval pending Department of Transport licencing and associated environmental studies.

Condition 6 - Department of Health regulations and guidelines as applicable to this development must be complied with.

Signed:



Michelle Reynolds  
EXECUTIVE DIRECTOR  
ROTTNEST ISLAND AUTHORITY

21/9/17  
DATE



## Notice of Determination on Development Application Variation

Rottnest Island Authority Act 1987

CONDITIONAL APPROVAL

REF NO: 17/62 ISSUE DATE: 2 MARCH 2018

### Description of Proposed Development:

Proposed Pinky Beach Eco Retreat including eighty three (83) accommodation tents, swimming pool, manager's accommodation, storage shed, food & beverage facility, retail shop, café, kiosk, bar and public toilets.

**Name of Land Owner:** Crown Land vested in the Rottnest Island Authority

**Address:** Strue Road, south of Pinky Beach and immediately north of the Waste Water Treatment Plan, Rottnest Island

**Applicant:** Tim Crosland

**Application Date:** 13 October 2017

### Approval:

Approval to commence development is hereby granted for the proposed variations to previous development approval DA004/2017 (17/62) as detailed on plans dated December 2017 subject to the following conditions:

1. Conditions 1 and 2 of the development approval dated 21 September 2017 are superseded with the following conditions:
  - a. The development shall be carried out and fully implemented in accordance with the plans dated herein, unless otherwise required or agreed in advance in writing by the Rottnest Island Authority.
  - b. This decision relates to the development as specified and does not infer approval of any unauthorised development or development which has been constructed contrary to its development approval which may be depicted on the approved plans dated December 2017.
2. Additional conditions:
  - a. Prior to lodgement of a Building Permit, a Water Management Plan must be submitted to and approved by the Rottnest Island Authority. The Water Management Plan must be implemented at all times to the satisfaction of the Rottnest Island Authority. (Refer to advice note a).
  - b. Prior to the lodgement of a Building Permit, an Aboriginal Heritage Management Plan must be submitted and approved by the Rottnest Island Authority including a

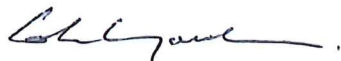


comprehensive monitoring plan with particular reference to the potential of burials in the seaward sand dunes and the potential presence of embedded artefacts in the Tamala limestone. The Aboriginal Heritage Management Plan must be implemented throughout the construction period to the satisfaction of the Rottnest Island Authority.

Advice Note:

- a. In reference to additional condition (2a), the Water Management Plan shall include sustainable, water sensitive measures and must be submitted to and approved in consultation with the Rottnest Island Authority.

Signed:



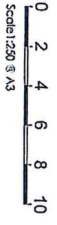
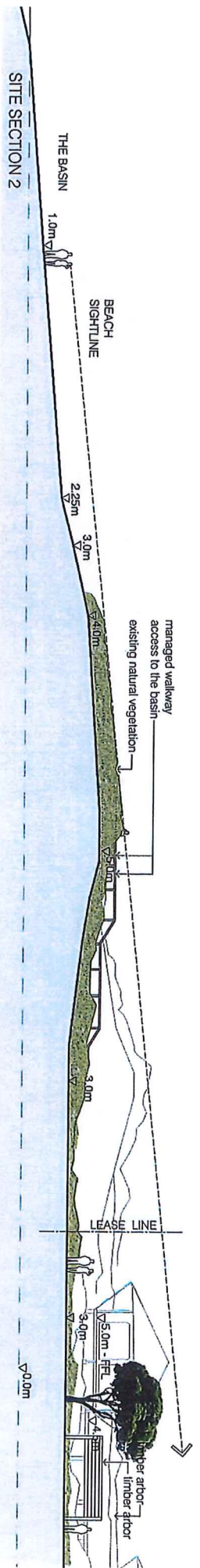
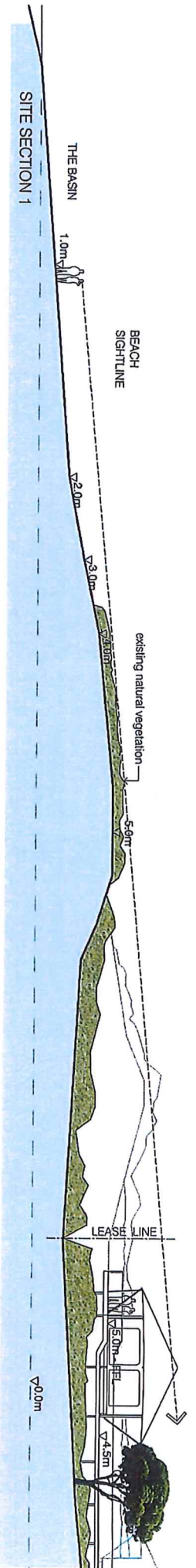
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**JOHN LANGOULANT**  
**CHAIRPERSON**  
**ROTTNEST ISLAND AUTHORITY**

4/3/18  
DATE







SITE SECTIONS & ELEVATIONS - 2 of 2

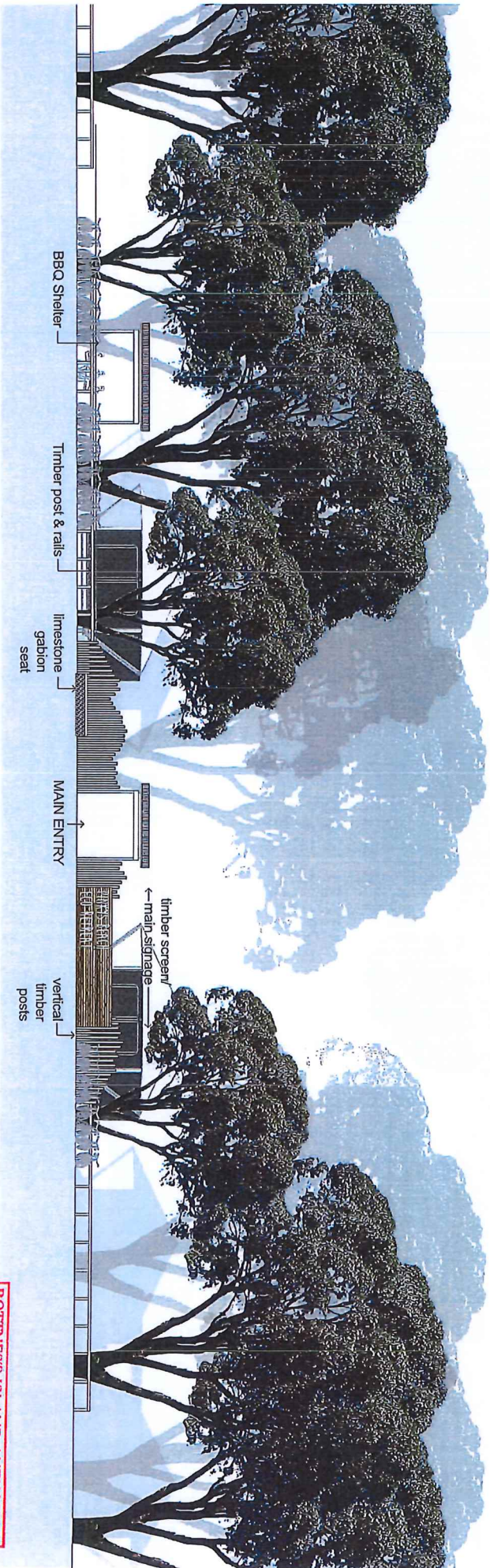
 Pinky's Beach Eco Retreat  
Rothnest Island, WA

Dec 2017  
Job 18875 @ A3  
Scale 1:250 @ A3  
Rev B

  
DA-03B

**ROTHNEST ISLAND AUTHORITY  
DEVELOPMENT APPLICATION  
APPROVED**  
Subject to any annotations shown in red  
and compliance with conditions of approval.  
**02 MAR 2018**  
Ref: *7/62*  
Plan *3 of 10*





ELEVATION

KINGSWAY ROAD MAIN ENTRY

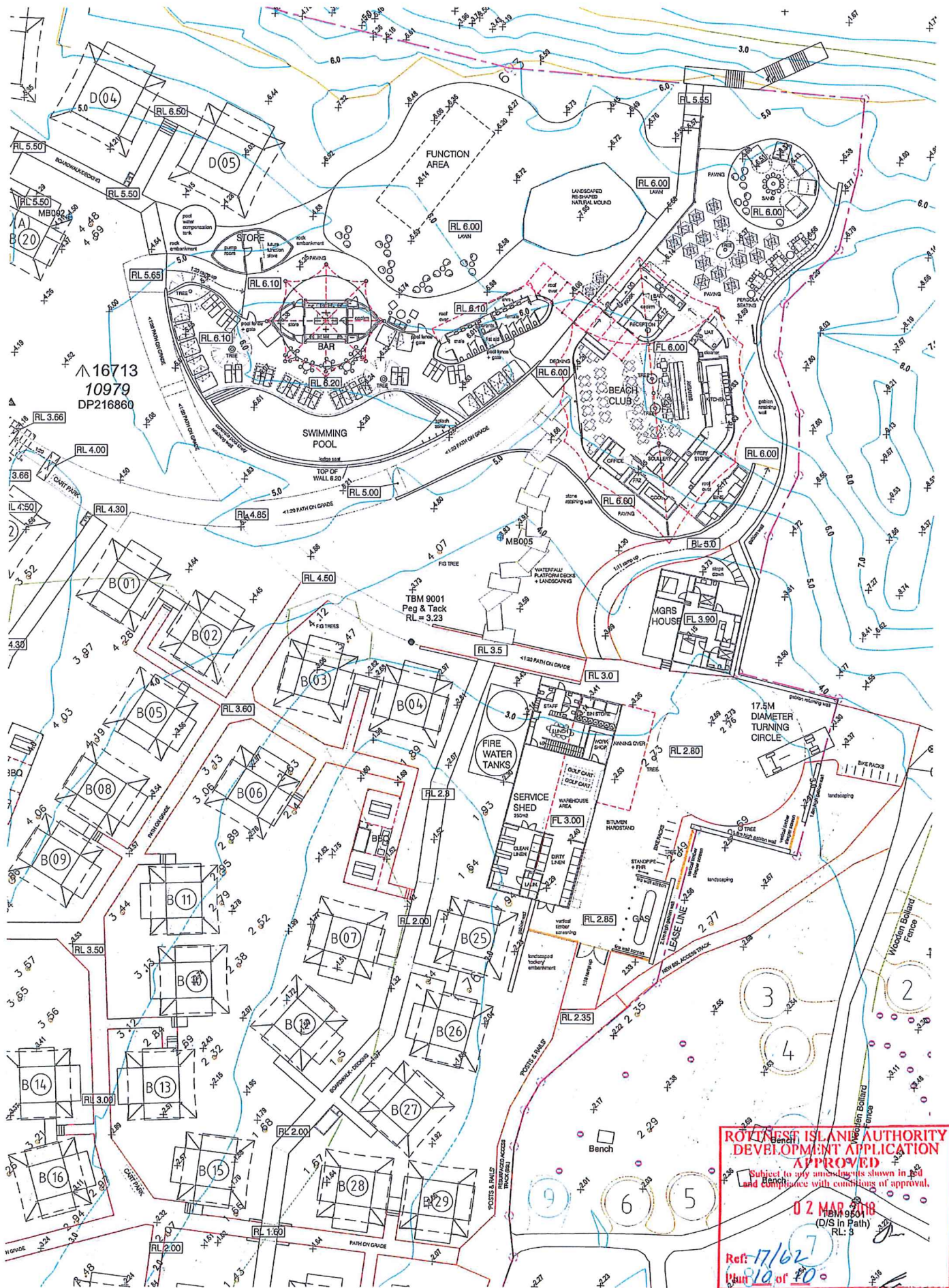
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Rottnest Island, WA

Dec 2017  
Job 16875

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DEVELOPMENT APPLICATION  
APPROVED**  
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02 MAR 2018  
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Ref: 17/62  
Plan 4 of 10  
R





16713  
 10979  
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**ROTHESAY ISLANDS AUTHORITY**  
**DEVELOPMENT APPLICATION**  
**APPROVED**  
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 02 MAR 2018  
 TBM 9501  
 (D/S in Path)  
 RL: 3  
 Ref: 17/162  
 Plan 10 of 20



**Pinky's Beach Resort**  
 DETAIL SITE PLAN  
 0 1 5 10 15 20m

13 Dec 2017  
 Job 16875  
 Scale 1:200 @ A1  
 Rev D

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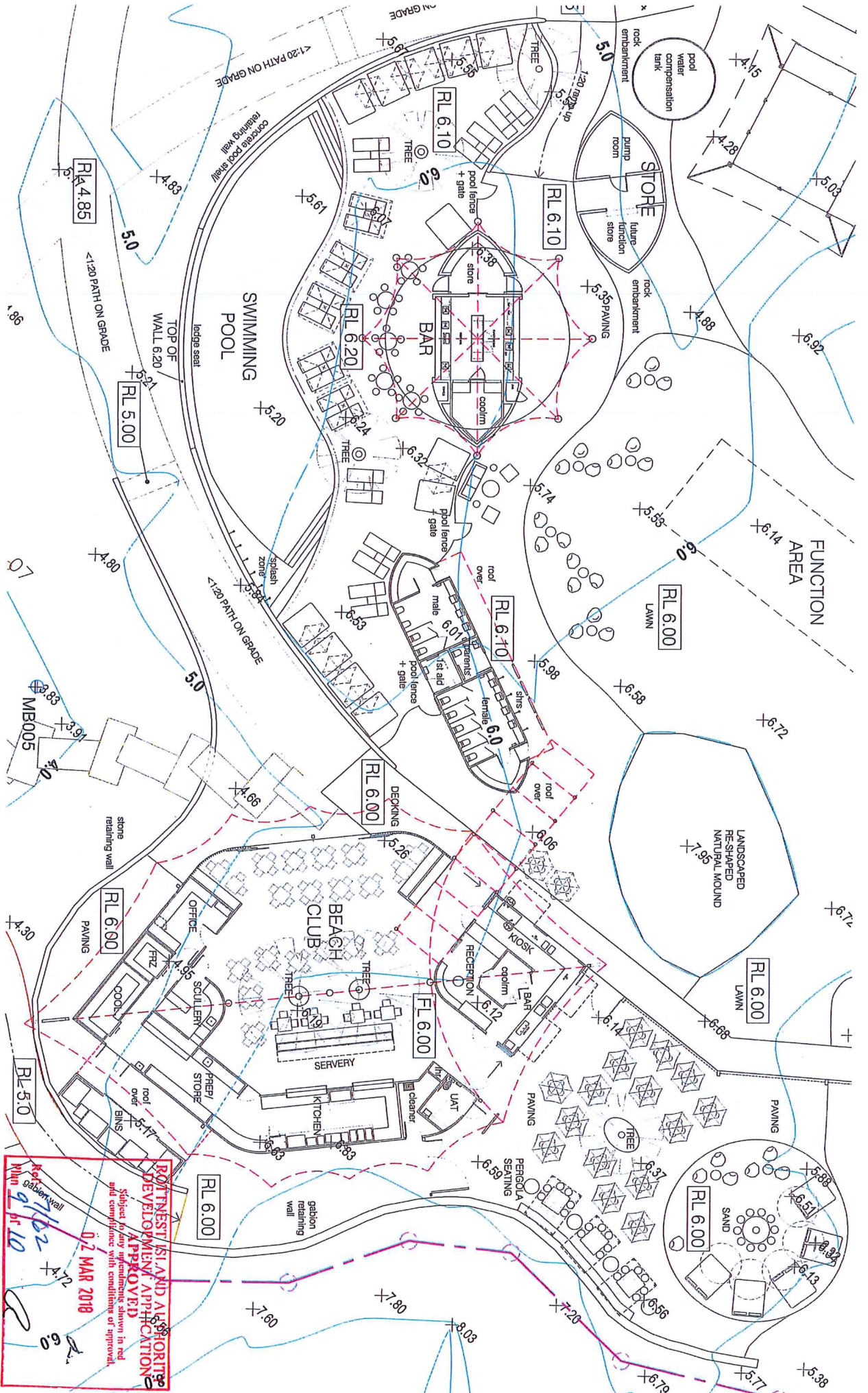
SHEET  
 detail 1





Pinky's Beach Resort  
POOL AND F&B AREA PLAN

Scale 1:100 @ A1  
Rev D



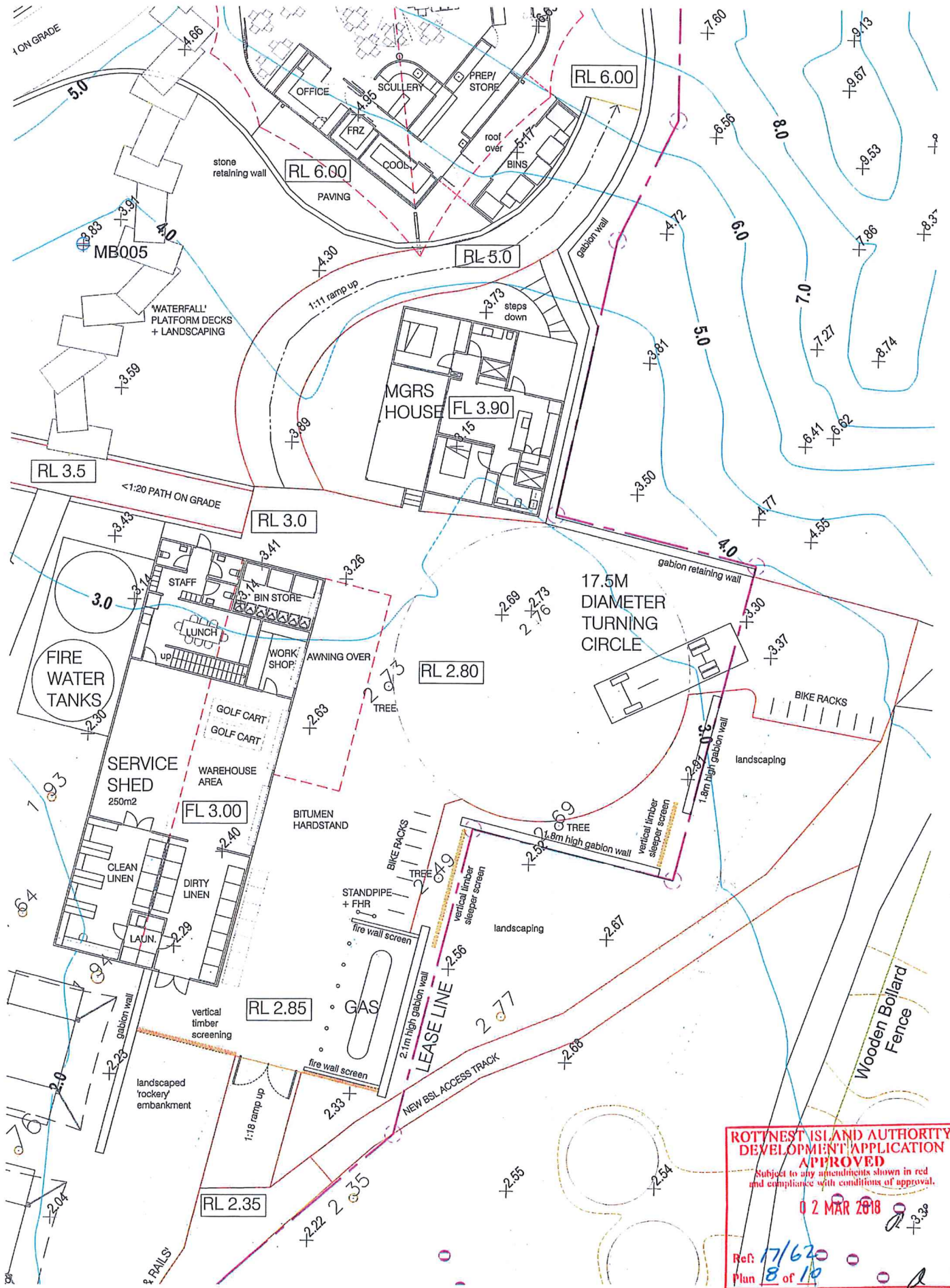
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DEVELOPMENT APPLICATION  
**APPROVED**  
Subject to any amendments shown in red  
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0.2 MAR 2018  
9/10/2  
9/10

13 DEC 2017  
Scale 1:100 @ A1  
Rev D

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SHEET  
detail 3





**ROTTNEST ISLAND AUTHORITY  
DEVELOPMENT APPLICATION  
APPROVED**  
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Ref: 17/62  
Plan 8 of 10



**Pinky's Beach Resort  
SERVICE/ BOH AREA PLAN**

0 1 5 10m

13 DEC 2017  
Job 16875  
Scale 1:100 @ A1  
Rev'D

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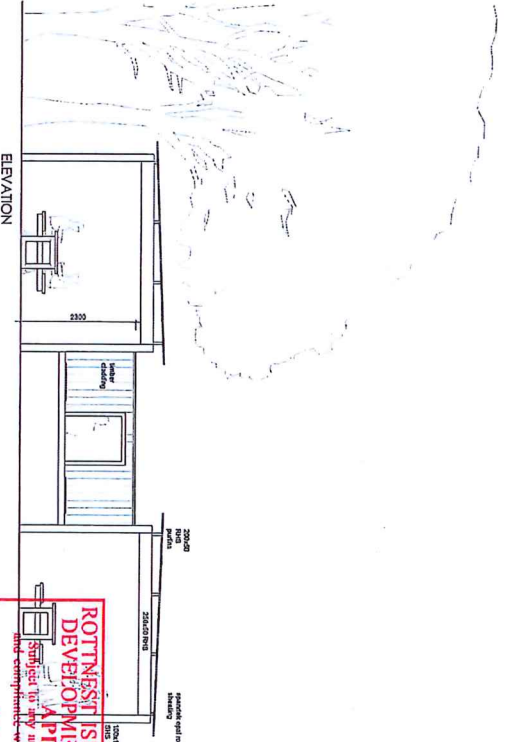
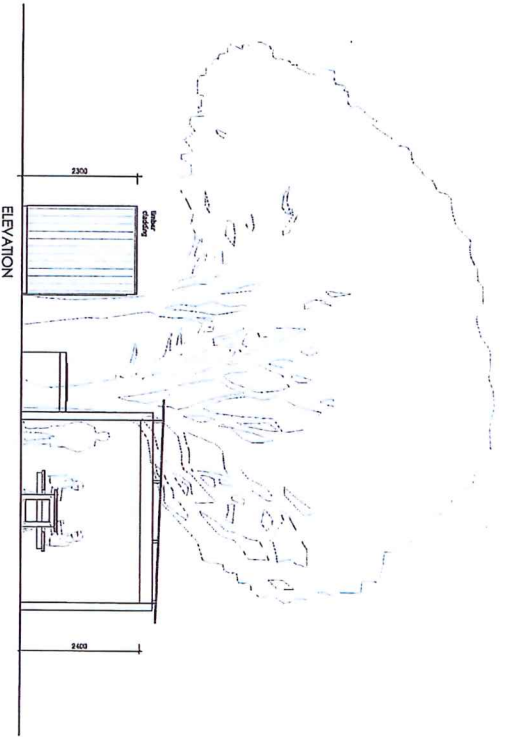
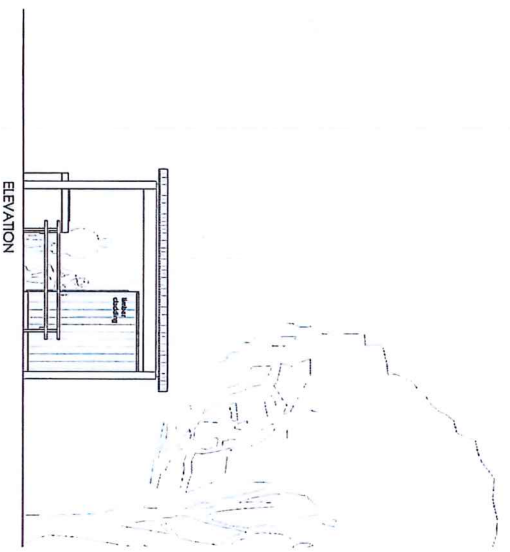
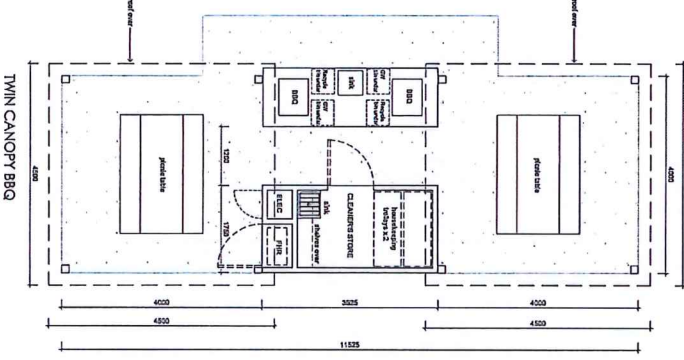
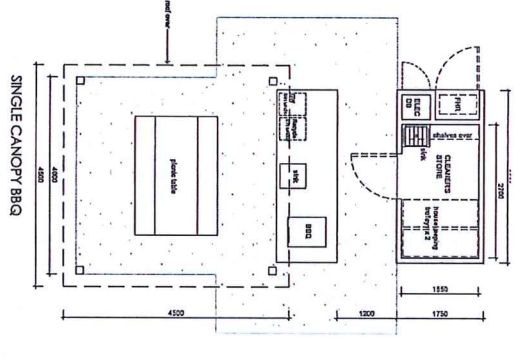
**SHEET**  
detail 2





**Pinky's Beach Resort**  
**BBQ SHELTERS & HOUSEKEEPING STORES**

0 1 2.5 5m



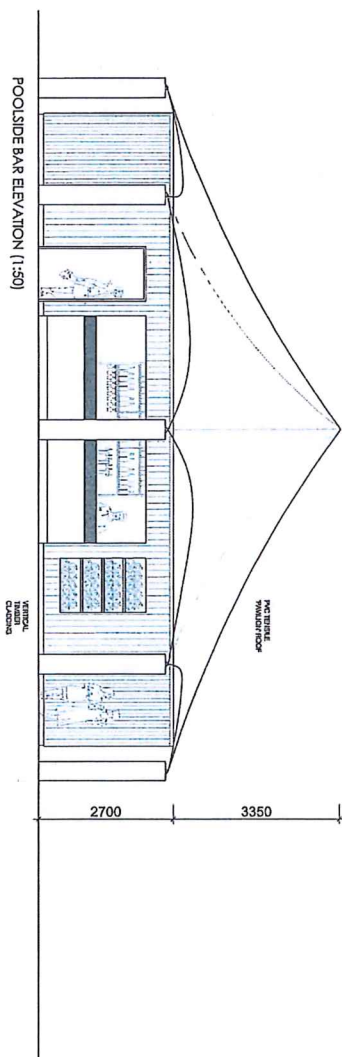
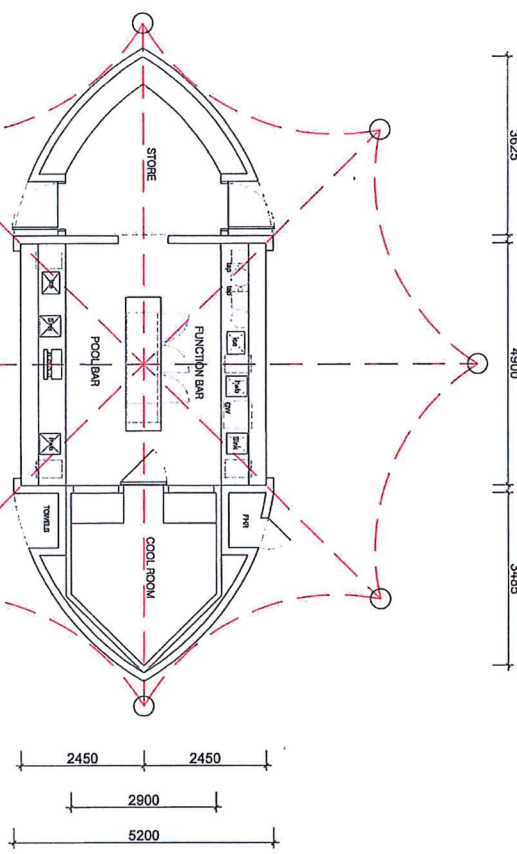
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**DEVELOPMENT APPLICATION**  
**APPROVED**  
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 and compliance with conditions of approval.  
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 Job 16975  
 Scale 1:50 @ A1  
 Rev B

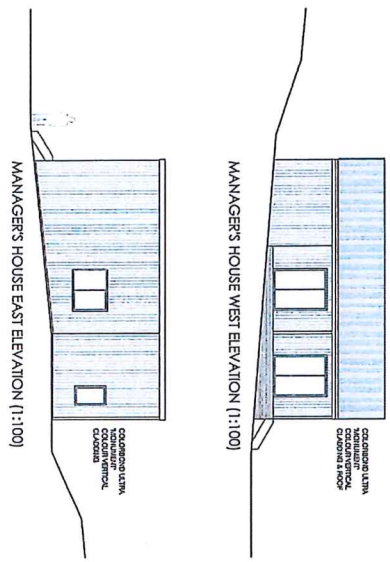
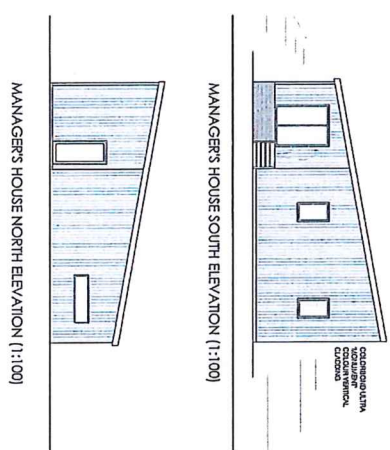
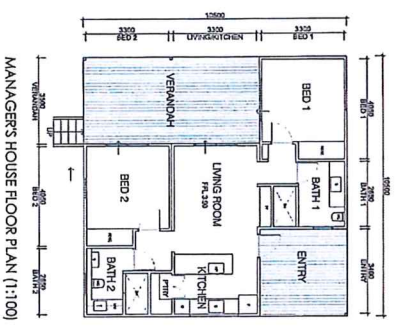
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**BROS/**  
**STORES**

12805  
3625 4900 3485



POOLSIDE BAR FLOOR PLAN (1:50)



**Pinky's Beach Resort**  
BAR, MANAGER'S HOUSE

0 1 2.5 5 10m  
5m 1:50 @ A1  
10m 1:100 @ A1

13 DEC 2017  
Job 14875  
Scale 1:50 @ A1  
Rev B

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POOL BAR/  
MANAGER'S  
HOUSE

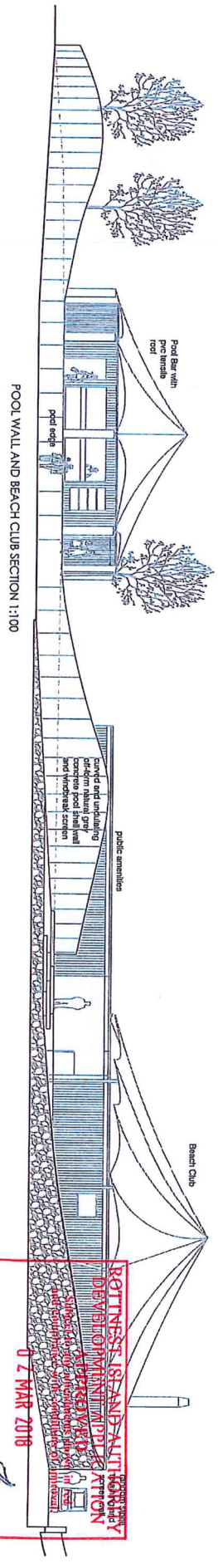
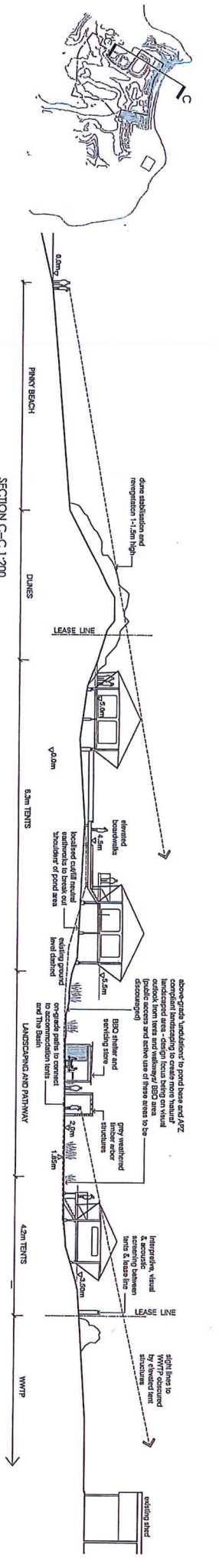
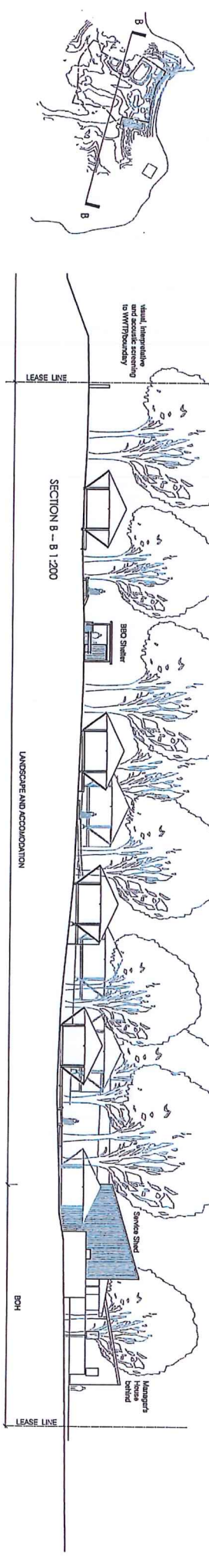
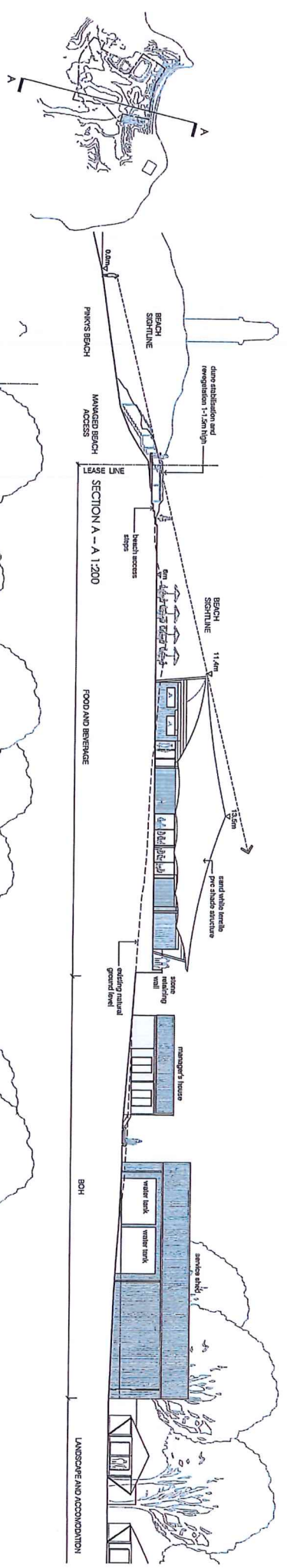
**ROTTNEST ISLAND AUTHORITY  
DEVELOPMENT APPLICATION  
APPROVED**

Subject to any amendments shown in red  
and compliance with conditions of approval.

**02 MAR 2018**

Ref: 7/162  
Plan 6 of 10





SITE SECTIONS & ELEVATIONS - 1 of 2

Pinky's Beach Eco Retreat  
 Rottnest Island, WA

Dec 2017  
 Job 16875  
 To Scale @ A1  
 Rev B

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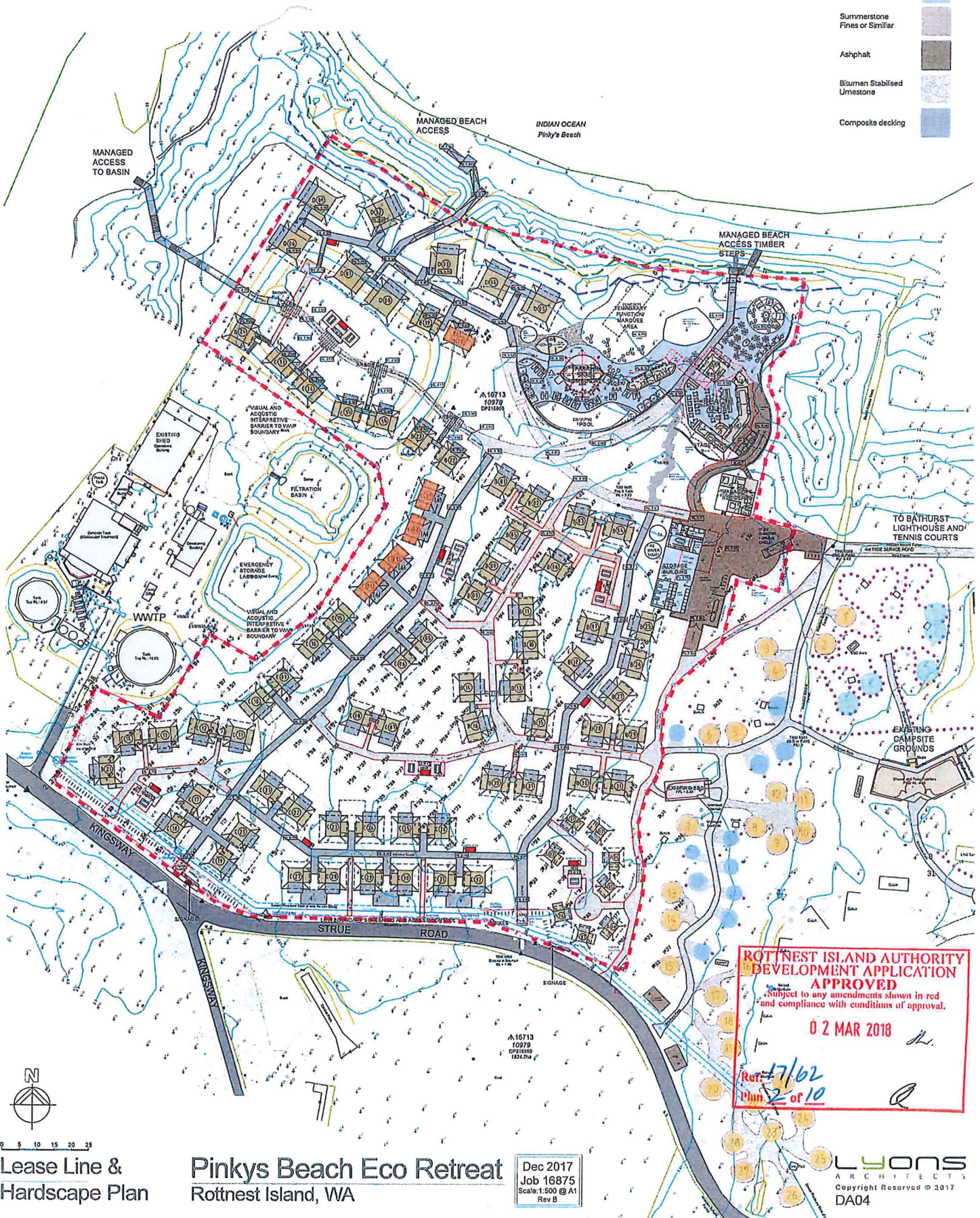
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 DEVELOPMENT APPLICATION  
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 Ref: 7/162  
 Plan 5 of 10  
 DA-03A

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 Scale 1:100 @ A1

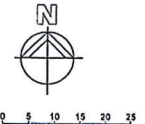


LEGEND	
Existing Tent	
Proposed Tents	
'Top of Dune' Survey Line	
5m Setback Line from 'Top of Dune'	
'Lease Line' Area:	

Granite Paving	
Summerstone Fines or Similar	
Asphalt	
Blumen Stabilised Limestone	
Composite decking	



**ROTTNEST ISLAND AUTHORITY  
DEVELOPMENT APPLICATION  
APPROVED**  
Subject to any amendments shown in red  
and compliance with conditions of approval.  
**0 2 MAR 2018**  
Ref: 17/02  
Plan 2 of 10



Lease Line &  
Hardscape Plan

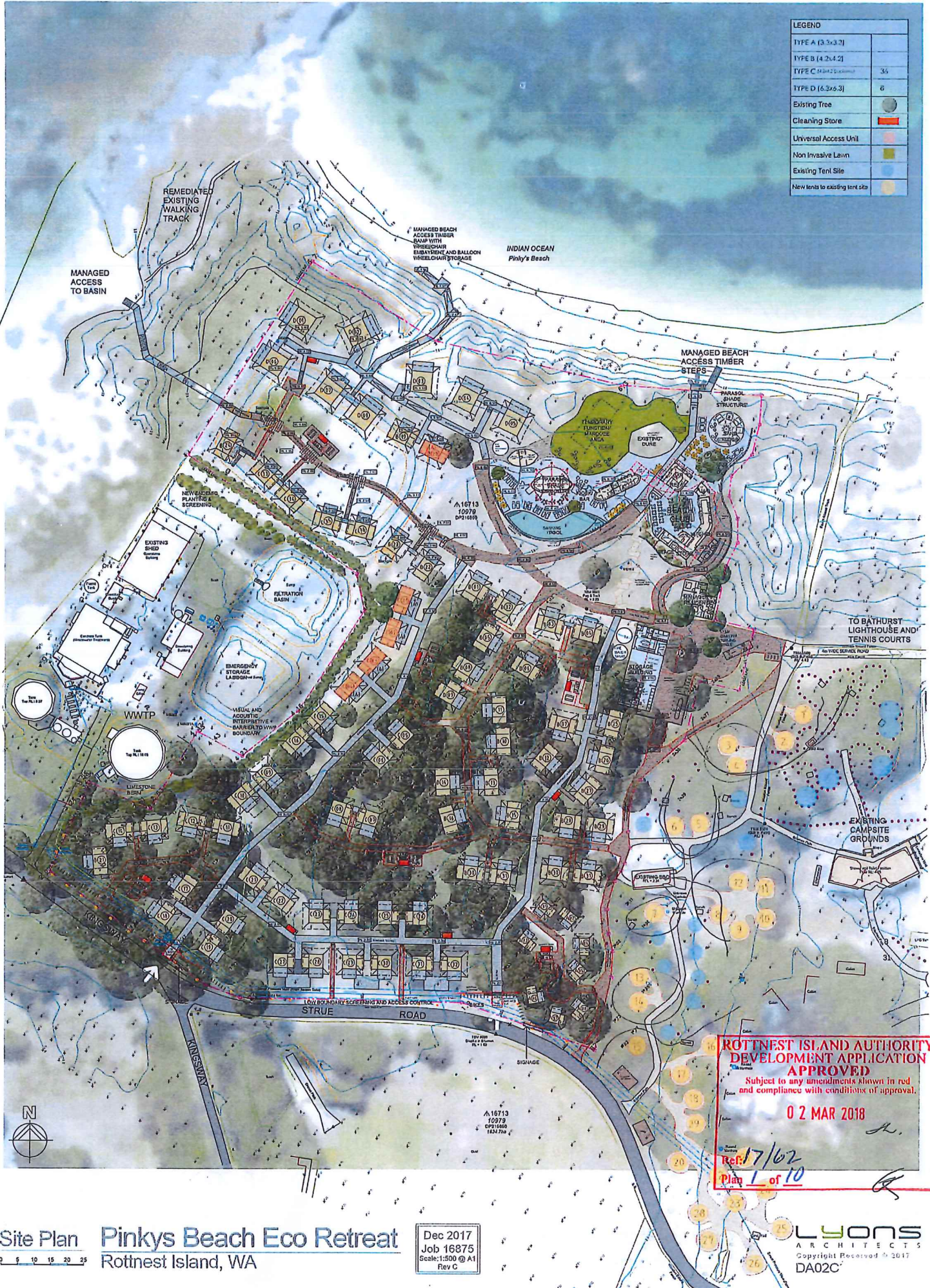
**Pinkys Beach Eco Retreat**  
Rottnest Island, WA

Dec 2017  
Job 16875  
Scale: 1:500 @ A1  
Rev B

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LEGEND	
TYPE A (3.3x3.3)	
TYPE B (4.2x4.2)	
TYPE C (4.2x2.5x6.0)	35
TYPE D (6.3x6.3)	6
Existing Tree	
Cleaning Store	
Universal Access Unit	
Non Invasive Lawn	
Existing Tent Site	
New tents to existing tent site	



**ROTTNEEST ISLAND AUTHORITY  
DEVELOPMENT APPLICATION  
APPROVED**  
Subject to any amendments shown in red  
and compliance with conditions of approval.

**02 MAR 2018**

Ref: 17/02  
Plan 1 of 10